A highly decorative, black and white initial letter 'W'. The letter is filled with intricate scrollwork, floral motifs, and symmetrical patterns. It has a classic, ornate feel, reminiscent of Art Nouveau or Victorian decorative arts.

Wedgewood Hills

**Design  
Guide**

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## Appendix

### WEDGEWOOD HILLS DESIGN GUIDE & OTHER REQUIREMENTS for Single Family Housing

Prepared for:  
WEDGEWOOD HILLS LIMITED PARTNERSHIP

September 1995

This design guide is intended to be used as a guide for lot owners in designing and building their home and related improvements in their lot consistent with the overall scheme for the development of Wedgewood Hills.

# THE WEDGEWOOD HILLS CONCEPT

Wedgewood Hills is a golf course and single family housing development located on approximately 80 acres in the City of Dublin, Franklin County, Ohio. In this land of rolling hills, meadows and trees, the developers of Wedgewood Hills envision a neighborhood community which provides an attractive environment not only for living and work, but also for recreation and social activities as well.

Wedgewood Hills is dedicated to preserving the natural beauty of the land through good design practices, good management and controlled growth. This will ensure the long-term protection of each homeowner's investment, as well as maintaining the quality of the environment throughout the development.

## WHY A DESIGN GUIDE?

The Wedgewood Hills Design Guide has been prepared to help home buyers, home builders, architects and residents of Wedgewood Hills understand the design process and to assure the long term quality of the Wedgewood Hills community. **The intent is not to dictate the design of each home, but rather to coordinate the individual efforts of all Wedgewood Hills residents to achieve a unique neighborhood setting where homes blend with and enhance the natural environment and are in harmony with each other.**

## DESIGN REVIEW

Every proposed new home or improvement to an existing home in Wedgewood Hills must be reviewed and approved by the Environment Committee before construction begins. This design guide and the Protective Covenants for Development of Wedgewood Hills shall be the basis for approval or disapproval of each proposed new home or improvement.

The Developer of Wedgewood Hills is Wedgewood Hills Limited Partnership; Boston Development Company and Davidson Phillips.

## The Design Guide covers three basic sections:

### Your Homesite:

Things to look for and to do before you decide upon the way to use your lot.

### Your Home:

Items to consider when deciding upon the type or style of house to build.

### Materials, Details, and Directions:

Specific recommendations and requirements for building materials, building details, colors, landscaping and site development.

By understanding and following the recommendations in this Design Guide, you and your home will become an important, integral part of this unique new environment community.

### Your Automobile:

A basic goal relating to automobiles is to reduce their visual impact on the neighborhood. The placement of driveways and garages is very important toward achieving this goal.

### Your Driveway:

Access from the street should be as easy and direct as possible, but often the straight-line drive or garage door to street solution makes the garage overly important. Ideally, garage doors are screened with planting or set back from the face of the house. Curved driveways and walks are preferred.

The ideal driveway links strongly with the front entrance, making it easy for a person to use the front door before reaching the rear. A perfection of this makes the driveway part of the entry garden, partially enclosing it with shrubs or a wall creating a real "auto entrance". Where possible, side-load garages are also strongly encouraged. Special driveway paving is encouraged (brick, combination brick and concrete, textured concrete, etc..) On sloping lots, "sunken" or cut-in driveways should be considered. On flat sites, mounding may be considered to help driveways blend with their sites. All driveways must be at least 3 feet from the property line. A 10 foot width of Unistone pavers is required in each drive apron adjoining the street.

### Parking Spaces:

A total of four parking spaces shall be provided on each lot: two enclosed and two on the driveway. Ideally, on-site parking spaces are to be screened by planting or gently mounded earth.

### Camper, Trailer or Boat Storage:

Storage of mobile equipment must be in a garage.

## YOUR HOMESITE

Each building site at Wedgewood Hills has its own specific qualities and characteristics. It is important that you look carefully at your lot, observe its special assets and decide how each of these can best be used to increase the aesthetic value of the lot to you and the community. Before you select or design your home there are some things you must think about.

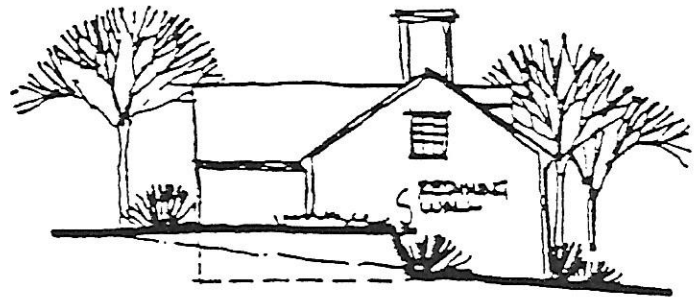
### Home Planning

If you are going to successfully plan your home, you must consider both the outdoor as well as the indoor spaces. You will be attempting to create and control all the space you live in: everything you see, use and maintain. You must consider the relationship of the four main functions of a home: public access, (front yard, entry hall); general living, (living room,

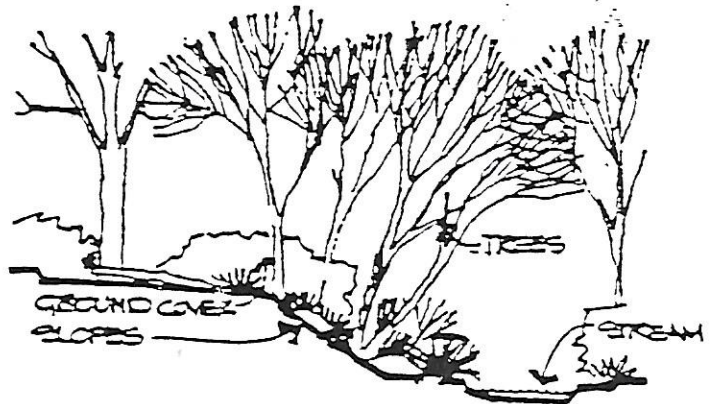
terrace); work, (kitchen, garage, and service); and private living, (bedroom, bathroom). Each of these spaces has its corresponding indoor and outdoor elements. Each works best and provides most livability and pleasure when planned from the outset and built as part of a continuous indoor-outdoor system.

### Site Qualities

First you must identify the natural qualities of the site. Decide what they are and how they should be used. Save the trees, rock outcroppings and scenic areas; use the views; recognize the slopes and drainage patterns. Place your house on the site to disturb a minimum of existing grades and contours. During construction, protect trees or natural areas by a temporary fence or barrier. Leave ravine areas natural and undisturbed; do not fill with dirt or debris. Remove no trees or natural features before final approval of plans and specifications.



Controlling a Slope



Preserve Natural Site Qualities

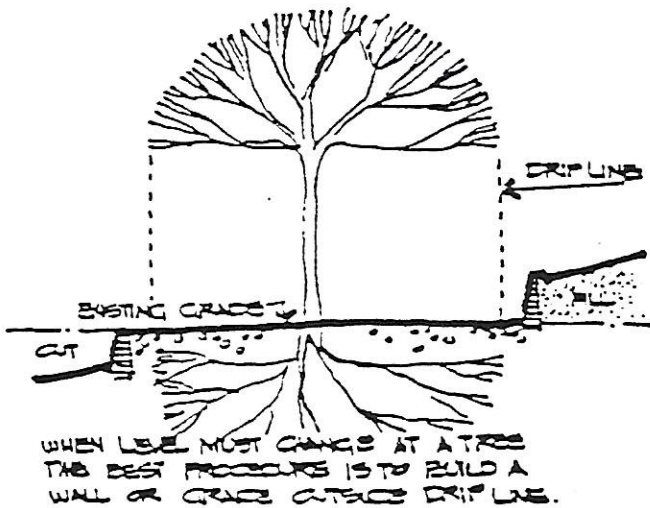
## Topography

The land at Wedgewood Hills varies from level to very steep. Such design elements as mounding, retaining walls and the stepping of slopes should be considered in developing your site. These elements should blend with your site and enhance its natural features.

## Grading

When trees or other such elements are to be preserved, they will determine the level of grading in their immediate vicinity. Retaining walls, terraced banks, and planted slopes should be considered as part of a grading plan.

Graded portions of lots outside the buildable area shall be kept near existing grade or shaped not to exceed a 4: 1 slope.



## Protecting a Tree

### Drainage

Drainage is often a major problem for the new homeowner, often forgotten and seldom completely solved before the first big rain or spring thaw forces action. On sloping land, each neighbor receives water from those above him and deposits water on those below. Therefore a pattern of compulsory mutual responsibility is established.

The acts of excavating or filling, or destroying the natural vegetative cover, or of building impervious roofs, or paved surfaces, increase the amount of surface run-off and change its direction and concentration.

Storm water from buildings and pavements on each site shall be directed by pipe or swale to the street, the nearest storm sewer or natural waterway. Storm water originating from the natural watersheds of adjacent property shall be accommodated and transmitted through your site to an existing outlet. It is required at Wedgewood Hills to control storm water and sedimentation both during and after construction.

## Setbacks and Side Yards

Building setbacks are flexible at Wedgewood Hills within the minimum requirements set by zoning. It is the intention that homes will have varied setbacks, not "lined up" as in a subdivision, and be carefully sited in more random order where trees and topography indicate. Side yard set backs will vary according to lot size and are indicated on the Wedgewood Hills Master Plan. Other non-buildable areas are set aside in areas of steep slope and woods and are also indicated on the Wedgewood Hills Master Plan.

## Coordinate with your Neighbor

Create privacy for you and your neighbor by carefully locating and coordinating the private spaces of your home. When possible, use common screen walls or fences to help each other create privacy.

## Garage

Place your garage so that the door does not dominate your house. Sit it back from the main face of the house, curve, the driveway and/or enter from the side or rear.

Your home at Wedgewood Hills must respect its site, and use it wisely, and recognize its natural assets. Let the qualities of the site enrich your home.



## Materials

Whenever possible use natural materials such as wood, brick, stone and tile.

## Colors

Earth tones (tan, brown, dusty green, warm grays, and rusty red) blend well with the environment at Wedgewood Hills. These colors are found in reproductions of traditional colors from the 18th and



## Subdue the Garage

### Your Home

Your home at Wedgewood Hills should have a natural quality with natural materials, colors and form predominating. The home easily blends with its natural surrounding and with its neighbors.

As you design your home, consider seriously the following elements:

#### The roof form and building mass

The general shape of the home - roof, walls and appendages - should fit in with the land and be compatible with neighboring homes.

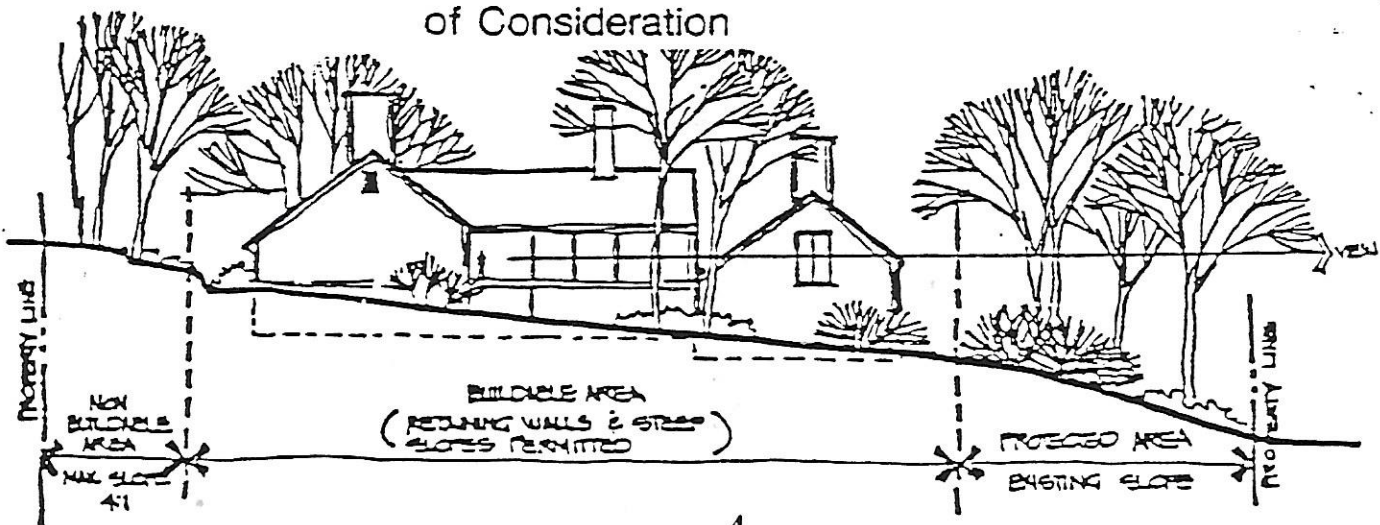
### Building Style

Homes at Wedgewood Hills are not restricted to one style or character, but traditional design is encouraged. For examples of preferred architectural styles, refer to Colonial Williamsburg by Phillip Kopper; A Field Guide To American Architecture by Carole Rifkind (Colonial, Georgian, Federal); and A Field Guide to American Houses by Virginia & Lee McAlester (English Colonial, French Colonial, Georgian).

Consideration should be given in the design to compatibility with the character of neighboring homes.

Emphasis is placed on building "form" rather than on building "style". Form is determined by building height, number of stories, roof pitch, width of overhangs, etc..

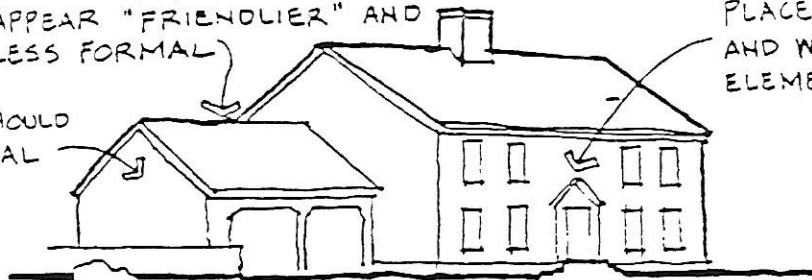
## Section Thru a Sloping Lot Showing Areas of Consideration



ONE STORY ELEMENTS ON TWO STORY HOMES MAKE THEM APPEAR "FRIENDLIER" AND LESS FORMAL

SCALE OF END GABLES SHOULD BE KEPT MINIMAL

PLACEMENT AND SCALE OF DOORS AND WINDOWS IS AN IMPORTANT ELEMENT ON A LARGE STRUCTURE

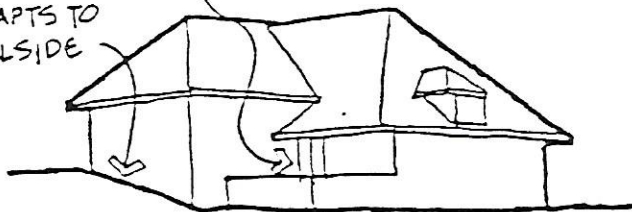


Medium Pitch Gable Roofs

ADAPTS TO HILLSIDE

RECESSED ENTRY PROVIDES COVER FROM WEATHER

WINDOW PROJECTIONS ADD CHARACTER TO A HOME



Hip Roof with High and Low Eave Lines

Gable Roof with High and Low Eave Lines

Note that any of the following house forms, even though each may appear to be a specific "style", may become, with selection of proper details, either "traditional" or "contemporary".

Height of one-story homes must not exceed 38 feet measured from the finished grade of the lot at the main entrance of the home to the ridge line. Two-story homes may not exceed 38 feet from the finish grade of the lot at the main entrance of the home to the ridge line. Distance between grade and floor is to be kept to a minimum.

First, select the form that will best suit your family; then, with great care, select the details that suit your taste. Then, select compatible natural materials and colors.

Detached garages, other outbuildings, walls and fences are encouraged when designed to coordinate with the design of the home.

### Building Heights and Form

High houses should have appendages or wings to help them hug the ground.

In general, houses at Wedgewood Hills are to be designed to hug the ground as closely as possible. Houses with low profiles are encouraged in areas exposed to long views to assure a gradual transition from open spaces to the residential areas. Taller houses can be built as part of "interior" neighborhoods and in wooded areas to blend with the tall trees.

Metal storage sheds and other prefabricated outbuildings are not permitted.

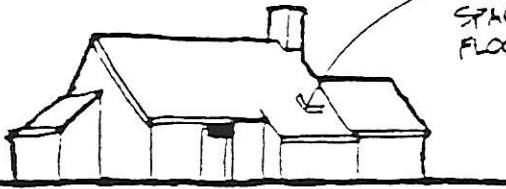
The terrain often suggests the type best suited for the lot. On sloping lots split-level homes or homes with special features (like balconies overlooking views or basements open to grade) are encouraged.

### The Roof

The roof, its shape and material, must be carefully designed. In general, major roof slopes should be from a minimum of 8/12 to a maximum 12/12 pitch. The roof forms throughout the community should be compatible with one another to help achieve a

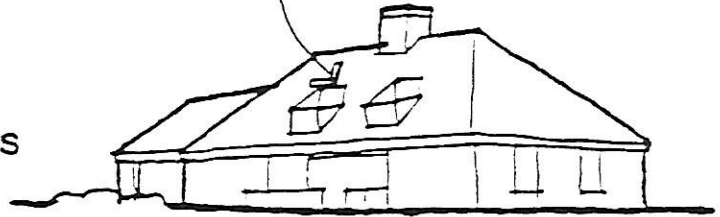
# 1 1/2 - Story Homes

HIGH PITCH CREATES SPACE FOR 2<sup>ND</sup> FLOOR ROOM.



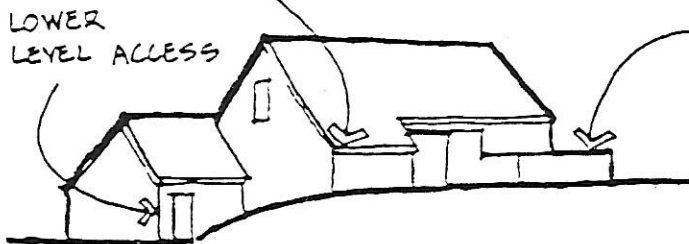
High Pitch Gable Roof with Shed Roofs

WINDOW PROJECTIONS ON THE ROOF BREAK UP LARGE ROOF MASS AND ADMIT LIGHT



High Pitch Hip Roof with Dormers

LOW EAVE LINES HELP HOME BLEND WITH SITE



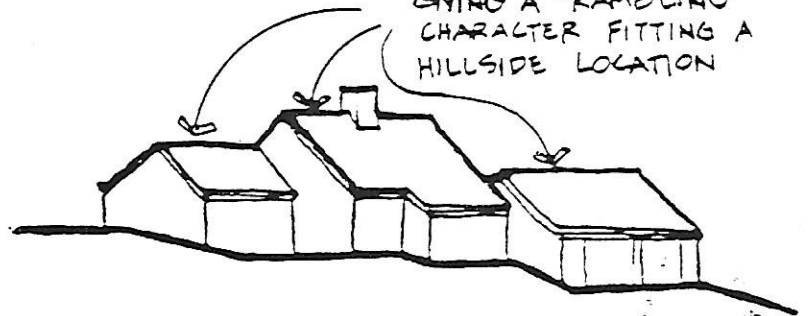
Gable Roof on Hillside

GARDEN WALLS ADD PRIVACY TO MAIN ENTRY AND LIVING SPACES AND MAKE HOME APPEAR MORE SPACIOUS

High Pitch Hip Roof with Dormers

# 1 - Story Homes

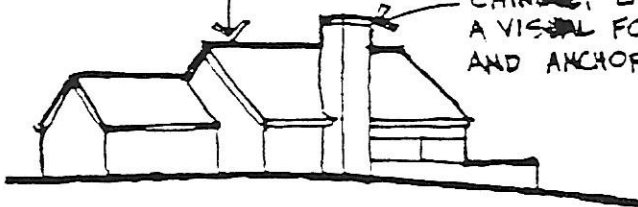
INDIVIDUAL WINGS PERMIT CHANGES IN FLOOR LEVEL THUS GIVING A "RAMBLING" CHARACTER FITTING A HILLSIDE LOCATION



Clustered Gable Roofs on Hillside

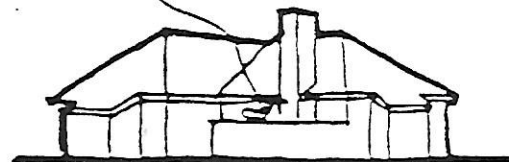
CREATE INTERESTING "CATHEDRAL" CEILING INSIDE

CHIMNEY CAN PROVIDE A VISUAL FOCAL POINT AND ANCHOR TO A HOME



Glazed End Gable Roof

ENCLOSED LANDSCAPED PATIO PROVIDES "OUTSIDE ROOM"



Hip Roof with Shed Extensions



pleasant, homogeneous character. Gable and hip roofs and minor variations and combinations of these two roof types are preferred. Shed and gambrel roofs when designed in a sensitive manner (ideally by a qualified design professional) are acceptable. Flat and mansard roofs are prohibited. Generally, a simple roof design is preferred over a more complex design. Lower pitched small roof areas will be considered on a case by case basis.

## MATERIALS, DETAILS AND DIRECTIONS

### Roof Material

Roof materials and colors should be compatible throughout the community. Asphalt shingles, when used, should be heavily textured and medium brown to gray in color to simulate the appearance of a of acceptable types of asphalt shingles see Wedgewood Hills Approved Colors & Materials Section of this Design Guide.

Roofs of slate, wood, or tile may also be used. No white roofing materials will be permitted and the use of extremely dark colors are discouraged. All roofing materials and colors must be approved by the Environment Committee.

Overhangs provide protection to the home, allow windows to be left open during a rain and help the house to hug the ground. Wide overhangs are more typical of contemporary styling, while narrow overhangs are generally more typical of traditional design. Gutters, fascias and rakeboards are to be stained or painted to match roofs. Downspouts are to be painted to complement the side walls. Roof fans, jack vents and flashing (except copper) are to be painted to match the roof.

### THE "FOUR SIDES" OF YOUR HOUSE

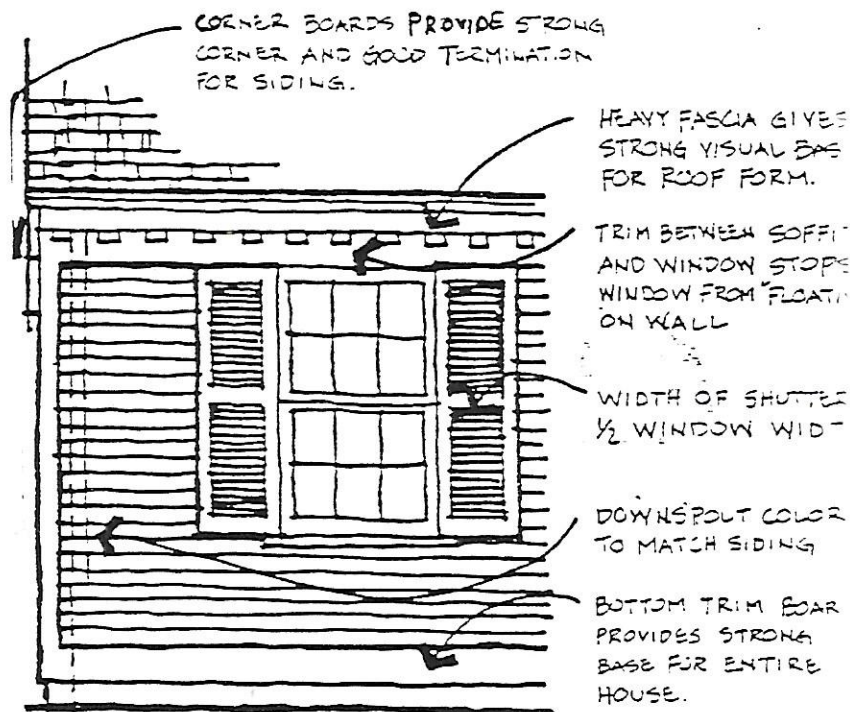
All sides of a home should be detailed and finished elevations.

in a similar way. There should be no substantial difference between front, sides and back. Homes will be seen from many sides and each side is important. Mixing materials on the side of the house or material changes from side to side are discouraged, but if material changes are necessary, special detailing (like cornerboards or wide returns) must be approved by the Environment Committee.

### WINDOWS

Many types of windows (casement, double-hung, horizontal siding, wood etc.) are acceptable at Wedgewood Hills as long as they have been carefully selected and proportioned to enhance the walls in which they are placed. Window frames shall be wood or vinyl clad. The same window type should be used on all sides of a home so that all four sides relate. Window muntins are encouraged in all elevations.

Unobstructed windows large enough to take full advantage of garden and long distance views are encouraged.



Cornerboards, Windows, Gutters and Downspouts

Shutters should be properly proportioned to fit the window and should be of authentic period design. On more contemporary homes, wide board trim should be used on windows to provide adequate detail to the window and help it integrate with the wall. When wide trim is used with properly proportioned windows, shutters are not aesthetically needed. Awnings are not acceptable unless they are cloth type and blend with the house. They MUST have the approval of the Environment Committee.

## GLASS WALLS

Sliding glass doors, view windows, clerestories and skylights are encouraged if designed to help the house take full advantage of the site views. Proper protection must be provided to ensure privacy from street and neighbors.

## DOORS

The entrance is probably more important than any other exterior part of your home. Care should be taken to select aesthetically pleasing arrangements and materials to enhance the entry. Natural materials, again, are preferred (wood, brick, glass). Aluminum storm and screen doors are discouraged. If used, their finish must blend with the home (no unpainted aluminum). Decorative "scalloped" storm door panels are not permitted. The garage door is often a very important element of a home. Garage doors should be de-emphasized and blend with the design character of the house. Garage doors shall be of one color and of wood or wood-based materials.

## Chimneys - Fireplaces

All chimneys and fireplaces shall be of traditional brick or stone masonry construction. No wood or stucco enclosures will be permitted.

## Building Materials and Colors

The roofs and side wall materials of each house shall be compatible with each other and shall blend into a common color tone. Natural colors of natural

materials blend easily together. When man-made materials are used, colors must blend with natural materials. Accent colors are encouraged only if used carefully to add a highlight or detail to the natural house. For examples refer to Wedgewood Hills Approved Colors and Materials Specifications.

The following are acceptable exterior building materials:

### Wood Siding

4 inch and 8 inch clapboard, rough and smooth finish; v-joint tongue-and-groove boards; vertical board and batten; all with semi-transparent stains are recommended. Paint requires more maintenance than stain and hides the natural beauty of the wood grain.

### Brick

Natural sand mold brick is preferred. "Manufactured" sand mold and textured brick may also be approved. Color ranges should be subtle; no speckled or glazed effects permitted. Brick details in chimneys, sills, entry steps, and foundations are encouraged (soldier courses, basket weave, etc.). Brick must wrap at corners a minimum of two feet.

### Stone

Natural stone laid in a natural horizontal bed is preferred. Rubble and roughly squared stone should be used. Square-cut dimensional or ashlar stone is not preferred. If flat-faced, vertical bed stone is used, flush joints rubbed with burlap are recommended. Native Ohio limestone in gray or buff is preferred over more exotic stone. Brick and stone must either return to the house at an inside corner or wrap a minimum of 2 feet on outside corners.

### Stucco

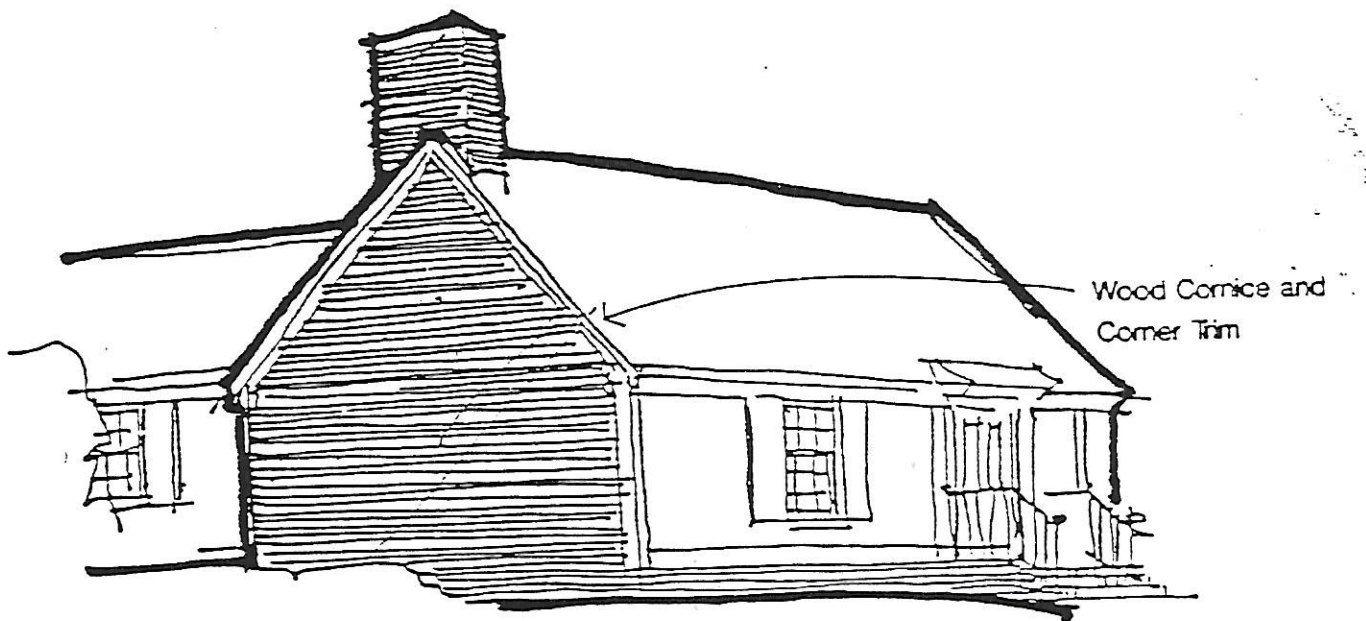
Stucco as a primary siding material is not encouraged. Stucco finishes may be accepted if properly detailed and is subject to the Environment Committee approval. Stucco is only approved with an actual stucco sample.



All Wood House with Masonry Wing, Chimney, and Foundation



All Masonry Wing or House with Wood Gable



Masonry End Wall and Foundation

White Stucco is not permitted.

Aluminum siding and vinyl siding are not permitted.

### Colors and Material Samples

All exterior building materials and colors are subject to review and approval by the Environment Committee.

### Patios, Terraces and Decks

Outside spaces such as patios, terraces, and decks are important to every home; they are direct extensions to the inside living spaces of each residence. The design of outside living spaces must be properly coordinated with the design of every home.

Outside spaces, when designed to provide privacy, are enclosed with planting, fences, walls, or gently mounded earth.

### Percentage of Enclosure

A certain amount of outside enclosure is desirable, but to assure preservation of the spacious environment, no more than 25% of the total lot area in addition to the house and garage may be enclosed by a fence or wall, except for patio homes where 100% may be enclosed where they do not face the golf course. Adjacent to the golf course, all fences and structures shall be set back as indicated on the Master Plan. Percentage of enclosure should be indicated on application for design approval. Fences are permitted only in the buildable area of each lot.

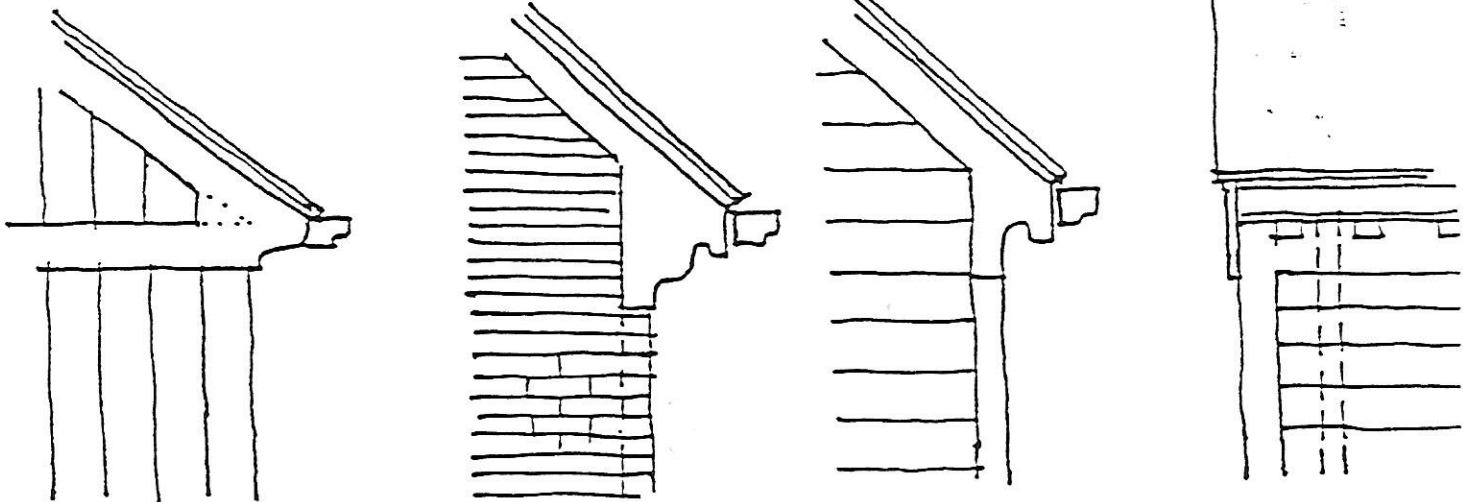
Landscape gardens are encouraged, especially entry gardens and private gardens adjacent to various entrances to the home. Highly ornamental garden decorations (statuary, fountains, etc.) are to be screened from street and neighboring views, and are subject to design approval. These decorations are not encouraged unless they supplement the natural theme. **Landscape plans must be submitted for approval by the Environment Committee.**

Garden walks and paths are important parts of any site development. Walks should appear natural, not rigid, straight-line sidewalks. Walks may be built from brick, rough-textured concrete, washed gravel, bark mulch, or other materials.

Decks attached to houses are to be large enough to be usable and built from materials similar to those used in the home. Wood decks should be stained to match the house or permitted to weather naturally. Decks are restricted to the buildable area of the lot and shall not extend into front and rear set backs or no build areas. Awnings used on patios and decks may be of wood and canvas. No metal or fiberglass awning products shall be used.

### Detached Gazebos, Swimming Pools, and Play Yards

Detached buildings of any type (garages, gazebos, cabanas, etc.) are encouraged at Wedgewood Hills if they are designed to integrate with the design of the house itself. These facilities are part of the "private" system of the site. They shall be located within the buildable area and shall be screened to guarantee



privacy. Swimming pools are permitted and must conform to building codes. No above-ground pools are permitted. Swimming pools are to be visually screened.

Basketball bankboards mounted on the house or garage are discouraged when facing the street. Bankboards shall be screened or painted to match the house and specific approval is required.

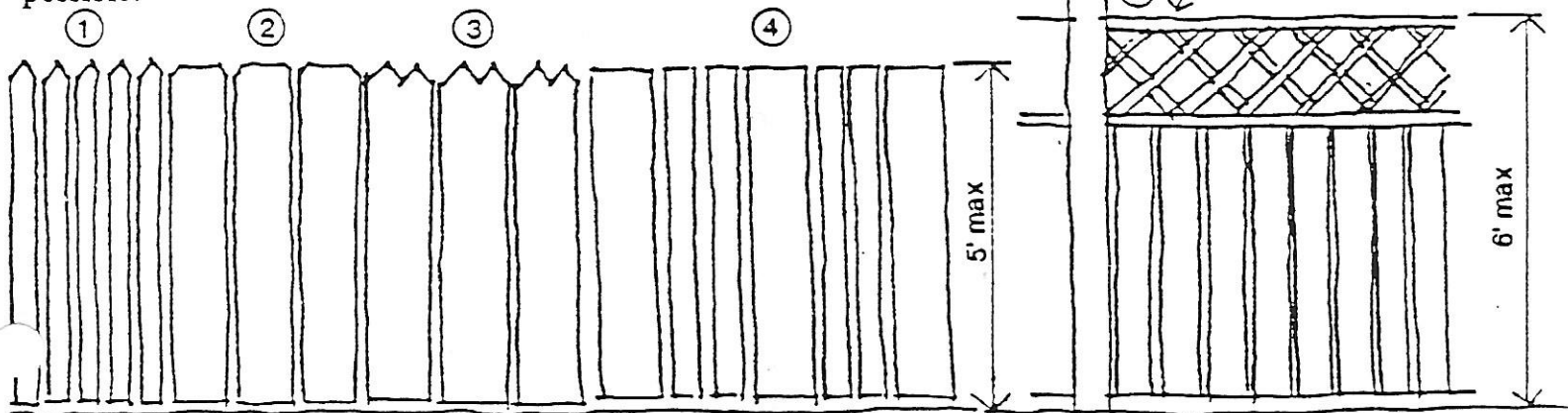
Tennis courts are permitted with approval if built within the building area and properly sited and landscaped.

Trash cans should be kept in a shed, garage, or visually screened enclosure.

### Fences and Screening

Fences built from wood, brick, wrought iron, or stone and screens developed from masses of planting are encouraged to enclose the private and service areas of each Wedgewood Hills site. Materials selected must be compatible with each home and conform with the natural character of the site. Wood fences are to be weathered or stained. No chain link or wire fencing will be permitted.

Fences should be high enough to provide privacy, yet low enough to permit views. Fence heights should range from a minimum of 2 feet to a maximum of 6 feet. Fences or shrub rows should not be placed within the front yard setback area. All fencing and enclosures must receive design approval. Property lines at Wedgewood Hills should not be accentuated by treelines, fences, and hedge rows. Properties are to blend into each other in a natural way as much as possible.



### Landscaping

The major goals of the landscaping are to 1) enhance each home and help it blend into the natural setting, 2) create a private environment for each homeowner and 3) supplement and accentuate the existing features of the land.

Street tree plantings in open areas are required and it is intended that each homeowner supplement this planting with his own. The Developer will suggest the types of trees to be used as the predominate species in various areas of the development. Each homeowner shall provide a landscaping plan as part of his/her required site plan for design review and approval.

Planting around a home, ideally, should be massed in critical locations rather than merely stretched along the foundation. Plantings should be placed away from the house at entrances and other key spots to enhance the architectural features or privacy areas of each building. Foundation planting is acceptable if done carefully and in moderation.

Planting at or near property lines must be coordinated with neighboring property owners to create a natural flow of planting from property to property. Property lines are not to be accentuated as "lines".

### Fence Details

Alternate Picket Designs

Earth mounding is encouraged within a property if it is done in a subtle way with gentle slopes to suggest natural grade. Mounding is effective when used with one retaining walls.

Certain areas of wooded lots should be left in their natural state. These natural areas provide a pleasant contrast to finished areas and reduce maintenance. **Please review the enclosed landscape Design Guide for additional information.**

### **Sidewalks**

Per Dublin city codes, sidewalks are required.

### **Outdoor Lighting**

All site lighting will be "indirect" or "area" lighting. Open bulb post lanterns or spotlights with direct glare should not be used. Wallmounted area lighting may be used for the doorway, but should be positioned so as not to disturb neighboring property owners.

### **Utilities and Services**

All electric and telephone services are to be underground. Meters on the exterior of houses are to be located for easy access of meter readers, but screened from street view.

All service entries and conduits are to be painted to blend with the home. No window air conditioners shall be permitted. Outside air conditioning condensers, fuel tanks, and other mechanical equipment are to be permanently screened from the street or neighboring properties. No fan is to be directed toward neighboring properties without an approved sound barrier.

No outside TV or radio antennae are permitted without approval. Roof attic antennae are encouraged. No large satellite dishes are permitted.

### **Signage**

Signs bearing owner's name or street number should be designed to be subtle, yet readable. They should be compatible with the natural setting.

### **Mailboxes**

To ensure continuity of design, an original mailbox will be designated by the Developer.

### **Finally**

It is intended that this Design Guide be of real assistance to the architects, builders and owners as they design homes that will become part of the pleasant, quiet atmosphere of Wedgewood Hills. The natural environment will dominate throughout the development and seclusion and privacy will prevail for each family through the unified effort of all those involved with building at Wedgewood Hills, one of America's finest Communities.

## **WEDGEWOOD HILLS COMMUNITY ENVIRONMENT COMMITTEE**

The committee, consisting of three persons, shall be established for the following purposes:

- a) To provide a staff of persons for reviewing, evaluating, approving and disapproving proposed plans.
- b) To establish, maintain, and preserve specific architectural guidelines and standards to carry out the intent of these restrictions, which guidelines and standards from time to time in effect with respect to all or any portion of the property shall hereinafter be referred to as the "Wedgewood Hills Community Design Standards".
- c) The Wedgewood Hills Owner's Association will be an Ohio non-profit corporation formed for the purpose of holding title to open spaces and for maintenance and protection of the same.

# WEDGEWOOD HILLS OWNER'S ASSOCIATION

1. The Wedgewood Hills Owner's Association will be an Ohio non-profit corporation.
2. The Association shall establish and collect an assessment which shall be based on the estimated budget for the next calendar year, divided by the number of lots in the property. The Association shall also develop rules for collection of assessments, interest and other charges and shall be responsible for the enforcement of all Association rules. The Association may also borrow funds, maintain a surplus, enter into contracts, and otherwise exercise complete authority over the use of open space.
3. The Association through its Environment Committee (three persons) as originally established by Wedgewood Venture shall continue to perform all duties and enforce all rules, regulations and restrictions, so long as the Association continues its existence.
4. The rules and regulations shall be deemed to run with the land and shall continue forever in full force and effect. After the Developers turn over the Associations responsibilities to the homeowners the consent of owners of two thirds of the total then existing units shall be required to amend or terminate these restrictions. The consents must be filed with the recorder of Delaware County, Ohio.

## CONSTRUCTION AND BUILDER REGULATION

### Conservation of Existing Landscape

The natural landscape should be protected to maintain as much as possible the existing site character as possible.

### Curb Cuts

The builder is responsible for cutting, removing and replacing curb and gutter for access into the site. All

curb cuts shall be in conformance with local ordinances. Installation of temporary gravel drives shall be completed before commencement of basement excavation.

### Debris and Trash

The builder is responsible for all trash and debris on the construction site. Trash and Debris shall be contained in a cage or appropriate container on the site and shall be removed as required. All lightweight materials, packaging and other items shall be covered or weighed down to prevent wind from blowing such materials off the construction site. Builders and owners are prohibited from dumping, burying, or burning trash anywhere on the lot or in the Wedgewood Hills Development.

During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore, or affecting other lots and any open space. Trash and debris cages to confine trash are required. Any clean-up costs incurred by Wedgewood Hills Limited Partnership in enforcing these requirements shall be billed to the builder. Dirt, mud or debris resulting from activity on each construction site shall be promptly removed from public or private roads, open spaces and driveways.

### Restoration or Repair of Property Damage

Damage and scarring to other property or other improvements will not be permitted. If any such damage occurs, it must be repaired and/or restored immediately at the expense of the party causing the damage or the builder of the lot.

### Signs

All contractor identification and real estate sales signs shall not exceed 24" x 36" and have dark brown background with white letters.

### Foundation Survey/Grades & Drainage

The builder is responsible for maintaining all grades and drainage per the approved Master Grading and Drainage Plan. The Owner/Builder is responsible for the completion of and payment for the survey.

# WEDGEWOOD HILLS

## APPROVED COLORS AND MATERIALS

The following colors and materials are those approved for use in Wedgewood Hills. **Other manufacturers' colors and materials are acceptable if they match those on the approved list, but must be reviewed by the Wedgewood Hills Environment Committee.** Use this list as a guide. There is latitude as long as the selections are within the intent represented by these materials

### STAIN COLORS:

#### Olympic Semi-Transparent Stains

707	Tobacco	901	White Birch
709	Black Walnut	906	Blueridge Gray
711	Coffee	909	Light Oak
713	Oxford Brown	911	Cape Cod Gray
716	Natural Ton Cedar	916	Driftwood Gray
726	Light Mocha	917	Weathered Barnboard Weathering Stain
729	Dark Mahogany	920	Aspen Tan

#### Olympic Solid Color Stains

Beachwood	Cocoa	Sandstone
Beige Gray	Coffee	Willow Mist
Butternut	Navajo White	

### PAINT COLORS:

#### Benjamin Moore/Historical Color Collection

Clinton Brown	HC-67	Lancaster Whitewash	HC-174
Georgia Brick	HC-50	Richmond Gray	HC-96
Lafayette Green	HC-135	Van Buren Brown	HC-70

#### Martin-Senour Paints/Williamsburg Paint Colors

Bracken Tenement Biscuit	W81-1064
Bracken Tenement Blue Slate	W83-1065
Chowning's Tavern Brown	W85-1070
Grissel Hay Lodging House Gold	W83-1060
Governor's Palace Tan	W82-1072
James Moir Shop Fawn	W82-1080
Market Square Tavern Gray	W82-0270
Market Square Tavern Shell	W81-0330
Nicolson Store Red	W86-1081
Peyton Randolph Gray	W82-1086
Wurdie House Slate Gray	W83-1090
William Byrd III House Ivory	W81-1073



**ROOF MATERIALS:**

GAF - Timberline - 30 Yr

Colors: Weathered Wood  
Charcoal Blend  
Heather Blend

Certainteed - Independence - 30 Yr

Colors: Weathered Wood  
Heather Blend  
Driftwood  
Charcoal Black

~~Certainteed - Horizon Shingle - 25 Yr\*~~

~~Colors: Weathered Wood  
Prairie Wood  
Shadow Black~~

~~\* NOTE: This is the only 25 year shingle permitted~~

**BRICK:**

Manufacturer

Color

Beldon

Belcrest 560A  
Meadow Blend A

Claycraft

Cranbrook Buckskin

Cherokee-Sanford

Phoenix 114

Glen-Gery

Rosewood

**STONE:**

Rubble and roughly square stone masonry only. No dimensioned or ashlar stone masonry permitted. Native Ohio limestone in buffs and grays suggested.

**STUCCO:**

Stucco colors will only be approved when submitted as an actual tile sample of the stucco to be used.

**DRIVEWAY PAVER:**

Paver to be installed with 2'-0" concrete buffer strip between street and drive, per attached sketch. Pavers at drive apron for ALL lots are to be:

Reading Rock, Inc. - Paverlock Pavers (8 cm)  
(pattern as desired by owner/builder)

Approved Colors: Sandstone  
Heritage Buff  
Hampton Blend

Available through Columbus Stone Center, Inc.

The Environment Committee will entertain paver samples from other manufacturers, along with cut sheets, when a house is submitted for approval. Colors of pavers should be in the range of those listed above.

**NOTE:** Again, other colors and materials may be accepted, the above serve as pre-approved guidelines to assist you in selecting compatible alternates.

This Submission For:

- Preliminary Design Approval
- Final Design Approval

\$300.00  
 \$100.00

Wedgewood Hills Lot Number \_\_\_\_\_

Address \_\_\_\_\_

Signature \_\_\_\_\_

Date \_\_\_\_\_

## WEDGEWOOD HILLS

### NEW HOME DESIGN REVIEW APPLICATION

APPLICATION SUBMITTER \_\_\_\_\_

ADDRESS \_\_\_\_\_ PHONE \_\_\_\_\_

OWNER \_\_\_\_\_

BUILDER \_\_\_\_\_

ARCHITECT/DESIGNER \_\_\_\_\_

BUILDING PROGRAM: All house plans must bear an Architect's seal.

- Standardized House Plan - show details of any variation from standard plans
- Custom/Architect Designed
- Other

Number of sq. ft. on main floor excluding garage \_\_\_\_\_

Total number of sq. ft. excluding garage \_\_\_\_\_

This Design Review Application shall be submitted for both Preliminary Design Review and for Final Design Review. This application serves (1) as a checklist to help in the consideration of the many decisions that will affect the design of your home at Wedgewood Hills and (2) to provide the Environment Committee with the required basic data needed for proper understanding. This application is to be used in conjunction with the Wedgewood Hills Design Guide. **Partial or incomplete design review submissions will not be reviewed until complete**, with the exception of a landscape plan, which must be submitted no later than 45 days before installation.

Later revisions to an original final design review submission (i.e. screened porch, Florida room, additional garage, gazebo, architectural changes, etc.) will be treated as additional submissions and subject to an additional design review fee of \$100.

**PRELIMINARY DESIGN REVIEW** - Three (3) sets of preliminary plans shall be submitted. This review will evaluate the proposed project at the schematic design phase. The following drawings and information shall be submitted:

SCALED SITE PLAN delineating:

Existing Conditions:

- Property lines
- Building Setbacks and easements

Proposed Conditions

- Building location within building envelope
- Proposed patio or deck location
- Curb cut and driveway access
- Auto court development
- Proposed materials

FLOOR PLANS AT 1/8" OR 1/4" = 1' -0"

FRONT ELEVATION at 1/4" = 1' -0" delineating:

- Architectural character
- Proposed materials

Design review, response and suggested revisions will address proposed design for creative and aesthetic conformity to site context, theme of the overall development and stated architectural and site guidelines.

**FINAL DESIGN REVIEW** - Three (3) sets of complete building and site plans with specifications and completed Design Review application for the building and other permitted structures shall be submitted for review and compliance with the design guidelines. The following list of drawings must be submitted as part of this package at the scales requested, preferably on 24" x 36" sheets.

**SITE PLAN** - Scale to be 1" = 10' or 1/8" = 1' -0". The site plan is to indicate all special assets of your lot (trees, ravines, etc.) and all proposed improvements:

- Building footprint
- Location of proposed decks and terraces with finish materials specified.
- Driveways, auto courts with specified finishes
- Walls and/or fences with sufficient detailing to describe the character intended

**GRADING PLAN** - The grading plan is to show existing one foot contours, proposed finished grade, and how you will control rainwater during construction. The grading plan should also indicate how lot perimeter elevations are maintained. This information may be included on your site plan. Your contractor and you are responsible for maintaining all such grading.

**UTILITY PLAN** - Indicate sanitary sewer, storm sewer, waterlines and electric and telephone distribution. This may also be shown on the site plan.

**FLOOR PLAN** - Scale 1/4" = 1' -0"

**BUILDING ELEVATIONS** - Scale 1/4" = 1'-0"

- These elevations should show all sides of your home, including storage sheds, garages, etc..
- Indicate all finish materials and colors, and typical detailing of windows, eaves and transitional corners.

**LANDSCAPE PLAN** - Tree locations, patios, retaining walls, etc. must be indicated. This may be submitted at a later date before completion of construction if a preliminary design sketch is submitted and approved.

One copy of the final approved documents will be retained by Wedgewood to be used in context evaluations of adjacent lots, and development throughout the design review process.

## Design Data

The following items must be considered in the preparation of the above documents. Check off all items that have been implemented into your design:

### I. SITE DESIGN

#### A. LOT TYPE (Check all that apply)

- Open  Wooded  
 Level  Sloping

#### B. DRIVEWAY

- Straight in from street (not preferred)  
 Curve in front street  
 Passes main entrance

Two required visitor parking spaces are to be indicated on site plan in addition to two or more enclosed parking spaces.

Driveway slope not to exceed 1 : 10 slope.

Minimum 10 foot width of Unistone pavers required where drive adjoins street.

#### C. HOME ORIENTATION

Private areas have been coordinated with neighboring lots:  yes  no

Home is oriented:

- Parallel to the street  
 Perpendicular to the street  
 At an angle to the street  
 Home is set on site so that it does not "line-up" directly with others.

#### D. SITE QUALITIES

Indicate on site plan or grading plan:

- Trees saved - size and species  
 Trees to be removed - size and species  
 Areas to be preserved (no debris to be placed in ravines)  
 Views to be used (indicate direction with an arrow)  
 Existing rainwater drainage pattern noted  
 Side and backyard grade differentials have been coordinated with neighboring lots  
 Minimum sideyard setbacks have been maintained  
 Downspout drainage lines located

#### E. GARAGE OPENING

- Facing street ( not preferred )  Facing side of yard  
 At rear of home  Set back from front of home  
 Partially screened with planting  Automatic garage opener provided

### II. HOME DESIGN

#### A. TYPE OF HOME

- One story  One and one-half story  
 Two story  Split level (front to back)  
 Split level (side to side)  Other - Describe

B. STYLE OF HOME

- Colonial
- French Colonial
- English Colonial

- Georgian
- Federal
- Other - Describe \_\_\_\_\_

C. BUILDING HEIGHT & FORM

Ridge line height above finish grade of the lot at the main entrance \_\_\_\_\_

Maximum ridge height allowed. \_\_\_\_\_

Did you include any wings or appendages to help your home "hug" the ground?  Yes  No

D. ROOF FORM

- Gable Roof
- Hip Roof
- Other - Describe \_\_\_\_\_

Roof Slope - Describe (6/12, etc.) \_\_\_\_\_

E. ROOF FEATURES

- Dormers
- Varying eave heights
- Varying ridge heights
- Other - Describe \_\_\_\_\_

Roof fans, vents and flashing (except copper) will be painted to match roof.

F. EXTERIOR WALLS

- All exterior walls same material
- Exterior walls combine different materials (brick, wood, etc.?) (Show transition detail with elevations; corner board, edge board, etc.).

Special Details (Indicate on elevations):

- Bay Windows
- Balconies/Railings
- Skylights
- Other - Describe \_\_\_\_\_

G. WINDOWS

Manufacturer \_\_\_\_\_ Trim Color \_\_\_\_\_

Type:

- |   |                               |                                      |
|---|-------------------------------|--------------------------------------|
| <input type="checkbox"/> Casement           | <input type="checkbox"/> Wood | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Horizontal Sliding | <input type="checkbox"/> Wood | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Double Hung        | <input type="checkbox"/> Wood | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Fixed              | <input type="checkbox"/> Wood | <input type="checkbox"/> Other _____ |

Same window type used on all sides of home?  Yes  No

Are you using muntins?  Yes  No  Built-in  Clip-in

Are you using exterior storm windows?  Yes  No

Wood  Color-coated metal

Are you using shutters?  Yes  No

If you are using shutters, is your home an authentic period design?  Yes  No

Each shutter is proportioned to be one half window width.  Yes  No

Are you using trim around windows?  Yes  No

If yes, what size boards? \_\_\_\_\_

H. DOORS

Entrance Door

- Flush                     Wood             Metal             Stained             Painted
- Paneled                     Wood             Metal             Stained             Painted

Other - Describe \_\_\_\_\_

Exterior Service or Rear Door

Type \_\_\_\_\_  Stained             Painted

Storm and/or Screen Door

Type:  Wood                     Stained             Painted             Color-coated metal

I. GARAGE DOOR

- Flush Overhead             Stained             Natural Wood             Painted
- Paneled Overhead             Stained             Natural Wood             Painted
- Wood siding covered             Stained             Natural Wood             Painted

Other - Describe \_\_\_\_\_

III. **Building Materials and Colors**

A. ROOF MATERIALS

- Handsplit shakes
- Wood Shingles
- Asphalt Shingles - color, style and mfg. \_\_\_\_\_

Gutters, Fascia and Rakeboards stained or painted to be complimentary to roof color.

B. EXTERIOR SIDEWALL MATERIAL

- Wood                    Type \_\_\_\_\_
- Stone                    Type \_\_\_\_\_ How Laid \_\_\_\_\_
- Brick                    Type \_\_\_\_\_
- Other - Describe \_\_\_\_\_

Are you going to use any wrought iron?     Yes             No  
If yes, provide details with elevations. No ornate wrought iron is permitted.

C. COLORS (Indicate color locations on elevations).

**INDICATE WEDGEWOOD STANDARD COLOR AND MATERIAL NUMBER**

Siding Color \_\_\_\_\_ Brick Mfg. \_\_\_\_\_ Color \_\_\_\_\_

Trim Color \_\_\_\_\_ Roofing Mfg. \_\_\_\_\_ Color \_\_\_\_\_

Accent Color \_\_\_\_\_

IV. **Patios, Terraces, Decks, etc..** (Locate on Landscape Plan)

- Patio - Materials \_\_\_\_\_ Color \_\_\_\_\_
- Decks - Materials \_\_\_\_\_ Color \_\_\_\_\_
- Swimming Pool - Size \_\_\_\_\_
- Tennis Court - Size \_\_\_\_\_
- Basketball Backboard \_\_\_\_\_  Trellis \_\_\_\_\_

Trash Cans and rubbish areas hidden from view by:

- Special shed that compliments house design.
- Keep trash in garage
- Visually screened area - Describe \_\_\_\_\_

Entry Walk

- Straight  Curved
- Brick Pavers  Concrete  Railroad tie steps or edges
- Flagstone  Exposed Aggregate Concrete  Other - Describe \_\_\_\_\_

Decks

- Uncovered  Covered  Wood  Canvas
- Other - Describe \_\_\_\_\_
- Railing Material - Describe \_\_\_\_\_

Enclosed Areas

- All enclosed exterior areas within buildable area.
- \_\_\_\_\_ % Percentage of lot enclosed

Type of Fence or Wall

- Wood Fence Type \_\_\_\_\_ Color \_\_\_\_\_
- Brick Wall Mfg. \_\_\_\_\_ Color/Range \_\_\_\_\_
- Stone Wall Type \_\_\_\_\_ How Laid \_\_\_\_\_
- Iron Fence Type \_\_\_\_\_ Color \_\_\_\_\_

V. **Landscaping (Indicate on Landscape Plan)**

- Existing trees retained  Foundation planting
- Natural areas preserved  "Private" spaces created
- Earth mounding used  Retaining walls used

VI. **Utilities & Lighting**

- Underground service  TV antennae concealed
- Air conditioning condensers etc. concealed from view
- Yard lighting not "directed" towards street or neighbors
- Photos or cuts of exterior light fixtures enclosed with application

**Return with appropriate drawings and data to:**

Wedgewood Information Center  
 4437 W Powell Road  
 Powell, Ohio 43065 (614) 792-8080

Checks are payable to Meacham & Apel Architects - Questions? Call Meacham & Apel (614) 764-0407

# WEDGEWOOD HILLS DESIGN GUIDE

## APPENDIX

### CONTENTS

Landscape Design Guide

Required Mailbox

Driveway Paver Detail

Required Yard Light Selections



# LANDSCAPE DESIGN GUIDE

## WEDGEWOOD HILLS COMMUNITY

This 'Design Guide' is intended to help homeowners, builders, landscape contractors better understand the landscape requirements and the review process. It should be used as such and should help speed the approval process.

### Schedule for Submittal and Construction

- A. Landscape plans must be submitted not later than 45 days prior to installation.
- B. Absolutely **NO** landscape construction may begin without approval of the landscape submitted by the Environment Committee.
- C. Completion of landscape construction shall be within 120 days of occupancy. Special exception may be given for weather related delays.

### Landscape Design Guide Review Submittal Requirements

- A. All drawings and documents submitted for Landscape Review must contain the following information:
    - 1. North arrow and scale.
    - 2. Builder and/or owner's name, address and phone number.
    - 3. Landscape Architect or Landscape Contractor's name, address and phone number.
    - 4. Wedgewood Hills lot number.
  - B. Minimum requirements for the Landscape submittal:
    - 1. Three completed copies of the 'Wedgewood Hills New Home Design Review Application'.
    - 2. Three completed sets of Landscape drawings drawn at a minimum scale of 1" = 10' showing the entire lot preferably on 24" x 36" sheets and containing the following information.
      - a. Existing and proposed trees, shrubs groundcovers, vines and grasses.
      - b. Patios, terraces, retaining walls and screen walls with dimensions and heights where appropriate.
      - c. Utility meters, air conditioning condensers, telephone boxes and pool and irrigation equipment and method of screening.
      - d. Landscape lighting with fixture and transformer types and locations (This may be on a separate drawing at 1" = 10' minimum.)
      - e. Location and construction methods, materials and colors for all paved areas which are not indicated on the site plan (including sidewalks).
      - f. Plant materials list indicating quantity, common name, botanical name and plant height and/or spread at time of installation of all proposed plant material. Container sizes will not be acceptable for trees and shrubs.
- Two (2) sets of the submitted drawings and application will be retained by the Wedgewood Hills Environment Committee and one (1) set will be returned to the applicant upon completion of the review.

STANDARD U.S. MAILBOX (BLACK)

4" BLACK NUMBERS

CEDAR NEWS PAPER BOX

4x4 CEDAR BRACKET

6x6 CEDAR POST

\*CONTRACTOR NOTE:

CALL  
CEDAR CRAFT PRODUCTS, INC.  
P.O. BOX 9  
BLACKLICK, OHIO 43004  
(614) 759-1600

\*BUILDER  
MUST PURCHASE FROM  
CEDAR CRAFT:  
INSTALLED: \$146.00  
DELIVERED ONLY: \$126.00

**NOTE:**  
OLYMPIC STAIN #916 STAIN  
ON ALL CEDAR.

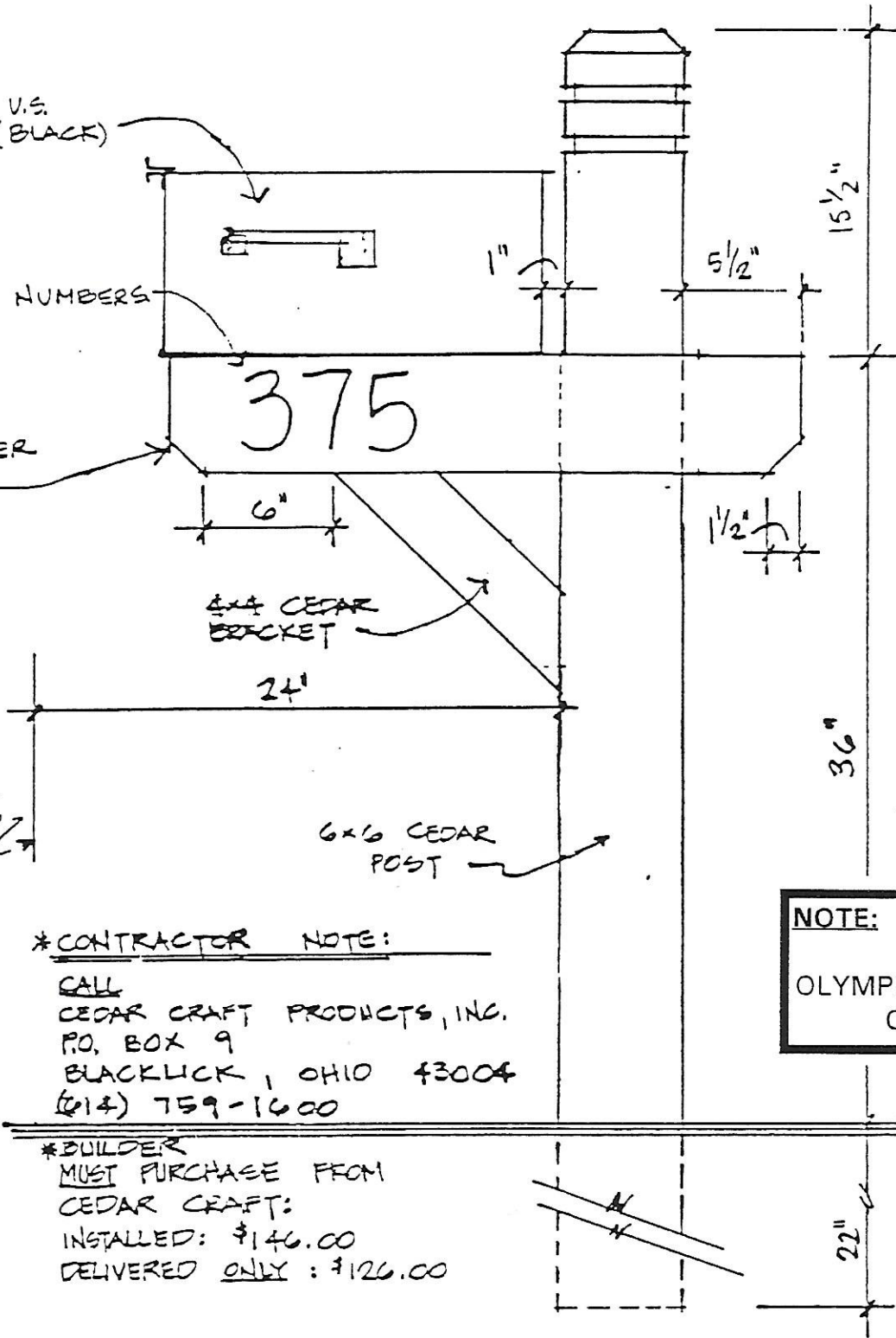
GRADE

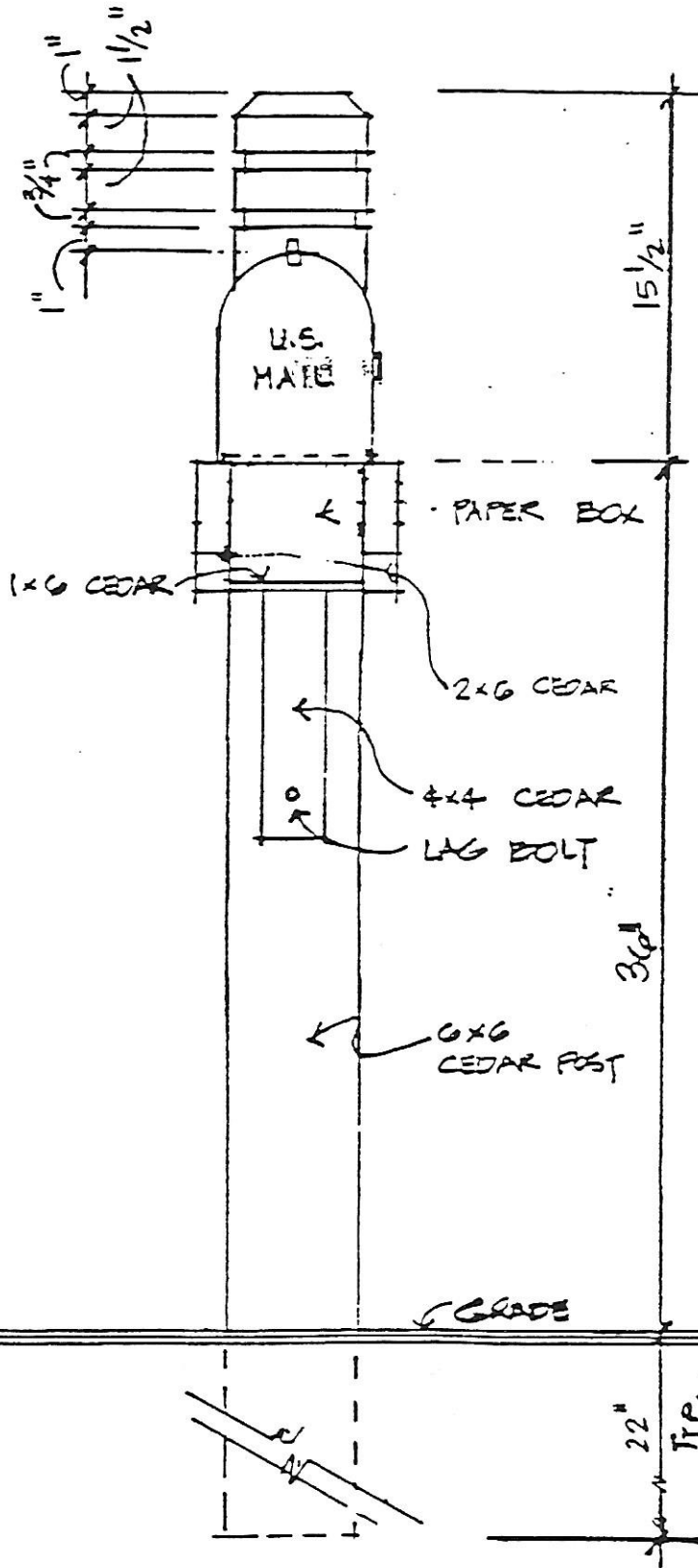
REQUIRED MAILBOX & POST

\$142.53  
+ 15.00  
\$157.53 pickup

Mt Carmel East  
776 Reynoldsburg Rd  
North of Broad  
M-F 8-4:30 pm

4/26 pickup





**NOTE:**  
 OLYMPIC STAIN  
 # 916

# YARD LIGHT SELECTIONS

When planning with your builder or landscape designer, please see the attached pre-approved yard light selections. These selections are for you to choose from or to use as a guideline when choosing a yard light of your own.

Any selection you might make other than the pre-approved selections will need to be within or near the parameters set by this guideline.

A color catalog is available at the sales center for your review.

## WELLINGTON SERIES 9600

### GENERAL SPECIFICATIONS

- Combination cast aluminum and solid brass construction
- Hinged, solid brass roof for ease in relamping and cleaning.
- Clear glass or clear beveled glass
- Finish: Black, with Antique or Polished Brass roof
- Long life Craftcoat™ protective finish
- U.L. listed
- Three-year limited warranty

OPTIONS: (SEE CATALOG PAGE 15)

	<u>CATALOG NO.</u>	<u>FINISH</u>
A	L-9601-AA-AB	BLACK
B	L-9601-AA-PB	BLACK
C	L-9602-AA-AB	BLACK
D	L-9602-AA-PB	BLACK
E	L-9602-AB-AB	BLACK
F	L-9602-AB-PB	BLACK



## OLD REPUBLIC SERIES 8100

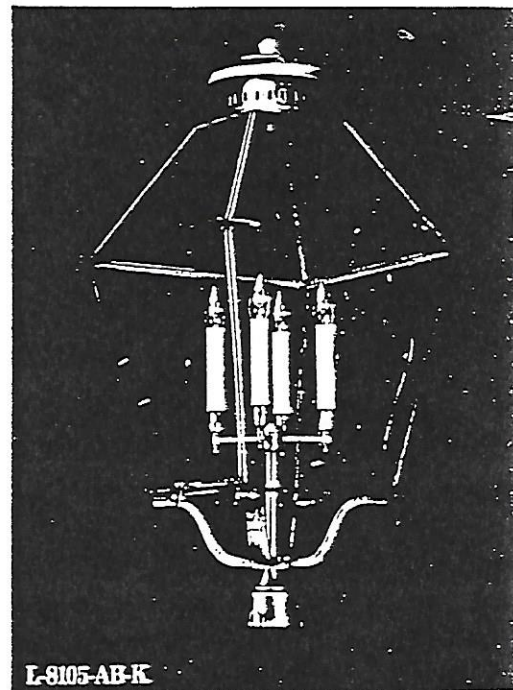
These exclusive lanterns represent the continued art and craft of colonial lightsmithing, with no deviations from the true Williamsburg style. HADCO craftsmen painstakingly band the glass panels, braze the frames and secure the components with silver solder.

### GENERAL SPECIFICATIONS

- Solid brass construction
- Hinged door for ease in relamping and cleaning
- Solid brass four-lite candle cluster (except B-8121)
- Beveled glass or shatter resistant acrylic
- Finish: Antique Brass
- Three-year limited warranty

OPTIONS: (SEE CATALOG PAGE 6)

	<u>CATALOG NO.</u>
A	L-8104-AB-B
B	L-8104-AB-K
C	L-8105-AB-K



# COUNTRY LANE SERIES 900

These stunning lanterns will add country charm to today's prestigious homes by blending the classic lines of yesterday's fixtures with the richness of solid brass trim.

## GENERAL SPECIFICATIONS

- Combination cast aluminum and solid brass construction
- Clear molded acrylic lens
- Hinged roof for ease in relamping and cleaning
- Finish: Black with Antique or Polished Brass roof
- Long life Craftcoat™ protective finish
- U.L. listed
- Three-year limited warranty

OPTIONS: (SEE CATALOG PAGE 17)

### CATALOG NO.

A L-902-AK-AB  
B L-902-AK-PB



# OCTAGON SERIES 4600

A time-honored design for today's architectural styles. Its simplistic lines allow the Octagon to blend with traditional settings or add a soft touch to contemporary architecture.

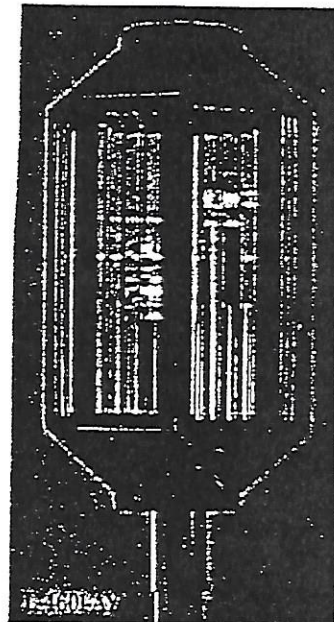
## GENERAL SPECIFICATIONS

- Cast aluminum construction
- Removable roof for ease in relamping and cleaning
- Shatter-resistant acrylic panels
- Incandescent or PL fluorescent lamping available
- Finish: Black or Bronze
- Long life Craftcoat™ protective finish
- U.L. listed
- Three-year limited warranty

OPTIONS: (SEE CATALOG PAGE 39)

### CATALOG NO.

A L-4601-AY  
B L-4601-HY  
C L-4602-AY  
D L-4602-HY

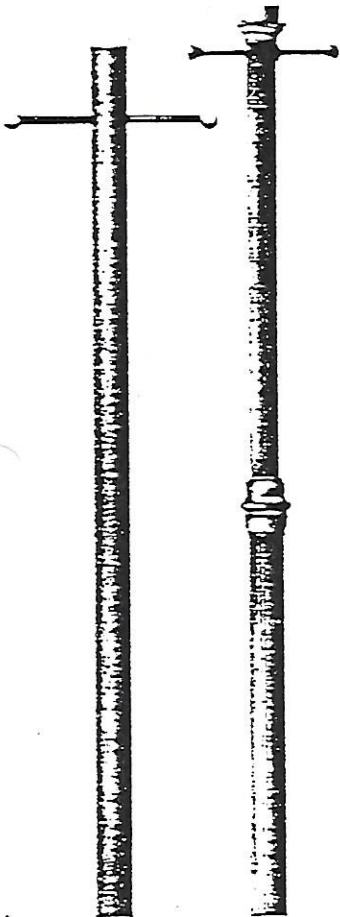




M0023A (Black)  
Square Pier Base  
4" High  
7 1/2" Sq.  
3" Lantern Fitter



M0012-A (Black)  
Ladder Rest  
Fits 3" O.D. Post  
3" Lantern Fitter



P-800-66A  
P-820-66A

P-821-66A

P-852-A  
P-852-E

P-550-9A

P-1150-96A

P-1500-8A

P-1510-8A  
P-1510-10A

P-1520-12A

Model No.	Finish	Overall Height Above Ground	Allowance In Ground	Shaft Material	Shaft O.D.	Wall Thickness	Base Diameter	Base Height	No. Bolts/ Bolt Circle
P-550-9A	Black	9'		Aluminum	3"	.070	10"	13 1/2"	
P-800-66A	Black	5'6"	18"	Aluminum	3"	.065			
P-1150-96A	Black	9'5"		Aluminum	3" Top/4" Bottom	.125	11"	30"	(4)-7"
P-1500-8A	Black	8'		Aluminum	3" Fluted	.070	9" Sc.	27 1/2"	(4)-9 1/2"
P-1510-8A	Black	8'		Aluminum	3"	.125	9" Sc.	27 1/2"	(4)-9 1/2"
P-1510-10A	Black	10'		Aluminum	3"	.125	9" Sc.	27 1/2"	(4)-9 1/2"
P-1520-12A	Black	12'		Aluminum	3" Top/4" Bottom	.125	9" Sc.	26"	(4)-9 1/2"
P-820-66A	Black	5'6"	18"	Aluminum	3"	.050			
P-821-66A	Black	5'6"	18"	Aluminum	3"	.050			
P-852-A	Black	6'	18"	Fluted Aluminum	2 1/2"-3"	.060			
P-852-E	Black	6'	18"	Fluted Aluminum	2 1/2"-3"	.060			

# Landscape Guidelines

## A. Screening

1. All meters, A/C condensers, telephone equipment boxes, irrigation backflow devices, pool equipment and other utilities must be screened from the street and adjacent properties with plant material or other approved screening method which when installed is at least as tall as the equipment it is screening and with as opacity of 80%. All above ground utility lines and conduits are to be painted to match the house.
2. Garages and off-street parking must be screened from the street and from adjacent properties. This screening may be accomplished with earth mounding, plant materials, fences or walls (where permitted) or a combination of these methods.

## B. Street Trees

1. Street trees are required for each new home site and are to be provided by the homeowner/builder.
2. Individual streets have street trees designated as follows:

<u>Street</u>	<u>Tree</u>	<u>Min. Caliper</u>	<u>Spacing</u>
Chippenham Drive	'Patmore' Green Ash	3"	45-50'
Gwynedd Court	Shingle Oak	3"	45-50'
Lyme Court	'Celebration" Freemani Maple	3"	45-50'
Millhouse Lane	'Skyline' Honeylocust	3"	45-50'
Sandwich Court	'Norweigan Sunset' Truncatum Maple	2 1/2"	35-40'
Satterton Circle	'Cumulus' Serviceberry	2"	25-30'
Shropshire Circle	Red Oak	3"	45-50'
Sixpenny Circle	Sweetgum	3"	45-50'
Stockport Circle	'Cruzam' Hawthorn	3"	25-30'

3. One street tree is required for each 25, 35, or 45 feet (see spacing above) of street frontage or portion thereof measured along the right-of-way and planted at 25, 35, or 45 (see spacing above) feet on center. No other landscaping will be allowed in the area between the curb and the sidewalk except immediately adjacent to the driveway.
4. Final locations for street trees shall be determined by the Environment Committee as recommended by Dublin City Forester based on the locations of street trees at adjoining properties, driveway curb cuts, fire hydrants and location of existing trees. The City of Dublin also requires that each tree be guaranteed for a period of one year after installation.
5. Fill out Wedgewood Hills Street Tree Notice Form at least 7 days prior to installation. The City of Dublin will place a white paint dot at exact location that each tree is to be placed.

**C. Lawns**

1. The front and side yards of all lots are to be sodded. Rear yards may be sodded, seeded or hydroseeded.
2. For corner lots all side yards facing a street shall be considered a front yard and shall be sodded to the rear property line.

**D. Quality of Plant Material**

Plant material shall comply with the sizing and grading standards of the latest edition of the American Association of Nurserymen, Inc. "American Standard for Nursery Stock".

**E. Quantity of Plant Material**

For final approval, The Environment Committee reserves the right to require additional plant materials if it deems appropriate

**F. Minimum Acceptable Plant Material Sizes**

1. Deciduous shade tree .....3" diameter caliper.  
Ornamental trees (single stem) .....1 - 3/4" diameter caliper.  
Ornamental trees (multi-stem) .....8' height.  
Evergreen trees .....8' height.  
Shrubs .....15" spread or height.
2. The minimum size requirement for evergreen trees may be waived when they are used to screen front yard telephone boxes. All may be of a size that meets the screening requirement.



# WEDGEWOOD HILLS LANDSCAPE REVIEW

Wedgewood Hills 2 digit lot # \_\_\_\_\_

Check off all information that is included with this submission.

This submission includes:

- \_\_\_\_\_ \$100.00 Design review fee (payable to Meacham & Apel )
- \_\_\_\_\_ Three completed copies of the application
- \_\_\_\_\_ Three completed sets of landscape drawings
- \_\_\_\_\_ Drawings are at a minimum scale of 1" = 10'
- \_\_\_\_\_ Wedgewood Hills Street Tree Notice Form

Information included on the drawings:

- \_\_\_\_\_ Wedgewood Hills two digit lot number.
- \_\_\_\_\_ All property lines.
- \_\_\_\_\_ Adjacent street(s)
- \_\_\_\_\_ Existing trees.
- \_\_\_\_\_ All proposed plant materials drawn at their mature size.
- \_\_\_\_\_ All utilities shown and screened. (gas meter, electric meter, electric transformer, telephone boxes, A/C units and irrigation equipment.)
- \_\_\_\_\_ All plant materials labeled.
- \_\_\_\_\_ Plant materials list indicating quantity, common name, botanical name and plant height and/or spread at time of planting.
- \_\_\_\_\_ Plant sizes for all trees and shrubs indicated by height or spread. **Gallon designations not acceptable.**
- \_\_\_\_\_ Sod/Seed limits have been shown.
- \_\_\_\_\_ Garages and off-street parking have been screened from the street and neighboring properties with either 42" height shrubs, 8' height evergreen trees or a combination of both.
- \_\_\_\_\_ All plant materials meet the minimum size requirements.
- \_\_\_\_\_ Street trees

**THE ABOVE INFORMATION IS INTENDED AS A CHECK LIST FOR SUBMITTAL.  
IF THIS SUBMITTAL IS RETURNED TO BE REVISED DUE TO ANY OF THE ABOVE NOT  
BEING INCLUDED IT WILL BE SUBJECT TO AN ADDITIONAL \$100.00 DESIGN REVIEW FEE.**

\_\_\_\_\_  
Name of Submitter

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Signature of Submitter

\_\_\_\_\_  
Lot Owner

(This sheet must accompany the landscape review)

## WEDGEWOOD HILLS STREET TREE NOTICE

Property Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Lot Number: \_\_\_\_\_

Landscape Company: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Builder: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

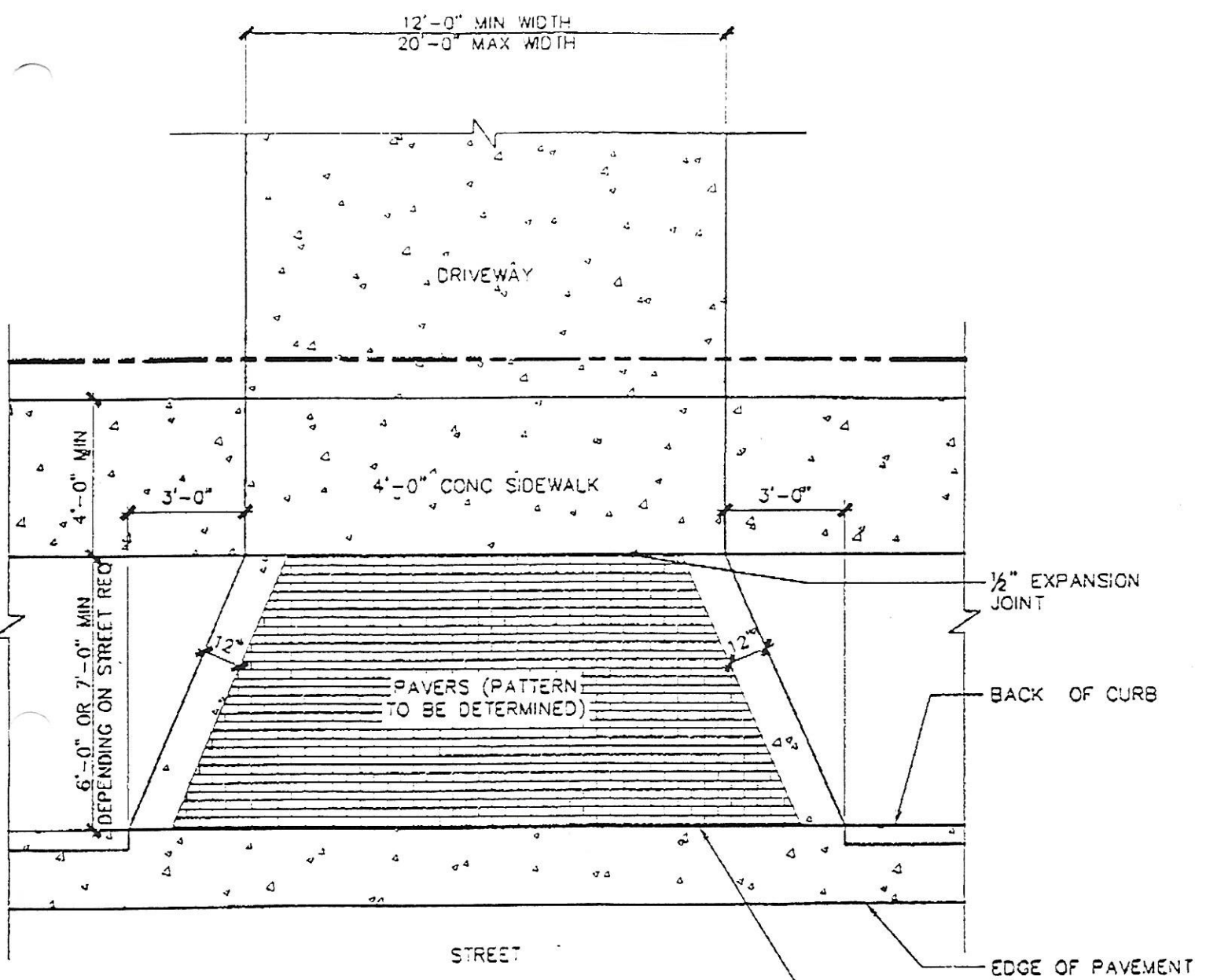
Date of Street Tree Installation\*: \_\_\_\_\_

Number of street trees to be installed: \_\_\_\_\_

Tree Species Installed: \_\_\_\_\_

\*Please submit this form at least 7 days prior to the proposed installation date to:

The City of Dublin Grounds and Facilities  
5800 Shier Rings Road  
Dublin OH 43016  
Attention: Paula Chope, City Forester  
Phone 761-6527  
Fax 761-6589



NOTE: THIS DRAWING IS TO SHOW LOCATION OF PAVERS - DRIVEWAY, GUTTER & APPROACH SHALL MEET ALL APPLICABLE DUBLIN CODES.

# wedgewood hills driveway approach

1/2" = 1'-0"